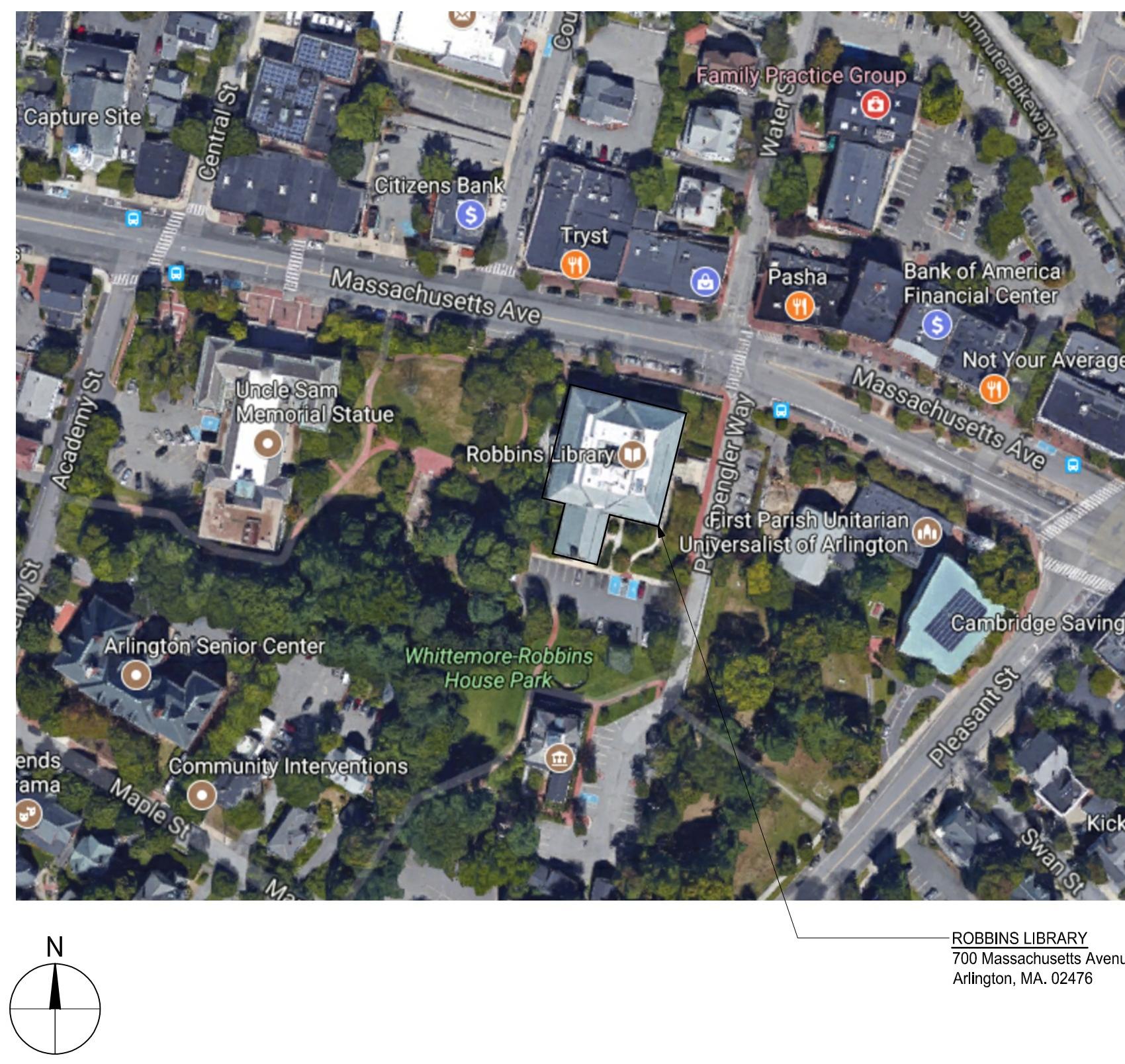


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EXTERIOR ENVELOPE REPAIRS - PHASE IA BID NO.19-58



LOCATOR MAP



DRAWING SHEETS:

- GENERAL
G0-01 COVER SHEET
- LANDSCAPE
L1-01 EXISTING SITE PLAN
- ARCHITECTURAL
A2-01 EAST EXTERIOR ELEVATION
A2-02 SOUTH EXTERIOR ELEVATION
A2-03 WEST EXTERIOR ELEVATION
A2-04 NORTH EXTERIOR ELEVATION
A4-01 REPAIR & RESTORATION DETAILS

GENERAL NOTES:

- G0 THE TOWN OF ARLINGTON AND CBI CONSULTING LLC, SHALL BE ADDED AS ADDITIONAL INSURED TO THE CONTRACTOR'S COMMERCIAL GENERAL LIABILITY, AUTOMOBILE LIABILITY AND UMBRELLA POLICIES FOR THIS PROJECT. ALL OF THE CONTRACTOR'S INSURERS SHALL PROVIDE A WAIVER OF SUBROGATION IN FAVOR OF THE TOWN OF ARLINGTON AND CBI CONSULTING INC.
- G1 CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND COORDINATING ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS. IN CASE OF CONFLICT, THE ARCHITECT SHALL BE NOTIFIED AND SHALL RESOLVE THE CONFLICT. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS.
- G2 IN ANY CASE OF CONFLICT BETWEEN OR WITHIN THE DRAWINGS AND THE PROJECT SPECIFICATIONS OR WITHIN THE DRAWINGS OR SPECIFICATIONS, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN AT THE SOLE DISCRETION OF THE ARCHITECT.
- G3 THE CONTRACTOR SHALL MAKE NO DEVIATION FROM DESIGN DRAWINGS WITHOUT PRIOR REVIEW BY THE ARCHITECT.
- G4 WORK NOT INDICATED ON A PART OF THE DRAWINGS BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN AT CORRESPONDING PLACES SHALL BE REPEATED. ANY CONDITION FOUND NOT DETAILED SHALL BE CONSTRUCTED IN A MANNER SIMILAR TO THAT OF THE TYPICAL DETAILS.
- G5 ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND LOCAL LAWS AND REGULATIONS.
- G6 GENERAL CONTRACTOR SHALL COORDINATE LOCATIONS OF OPENINGS, PITS, BOXES, SUMPS, TRENCHES, SLEEVES, DEPRESSIONS, GROOVES, AND CHAMFERS, WITH MECHANICAL, ELECTRICAL AND PLUMBING TRADES.
- G7 THE STRUCTURAL DESIGN OF THE BUILDING IS BASED ON THE FULL INTERACTION OF ALL ITS COMPONENT PARTS. NO PROVISIONS HAVE BEEN MADE FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO MAKE PROPER AND ADEQUATE PROVISIONS FOR STABILITY OF, AND ALL STRESSES TO, THE STRUCTURE DUE TO ANY CAUSE DURING CONSTRUCTION.
- G8 CONTRACTOR SHALL NOT SCALE DRAWINGS. CONTRACTOR SHALL REQUEST ALL DIMENSIONS OR INFORMATION REQUIRED TO PERFORM THE WORK FROM THE ARCHITECT. WORK COMPLETED BY THE CONTRACTOR WITHOUT DIMENSIONS OR INFORMATION SHALL BE DONE AT HIS OWN RISK AND SHALL BE REMOVED AND REINSTALLED TO THE SPECIFICATIONS OF THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
- G9 MEANS AND METHODS OF CONSTRUCTION AS WELL AS COMPLIANCE WITH OSHA AND OTHER SAFETY LAWS AND REGULATIONS IS EXCLUSIVE RESPONSIBILITY OF THE CONTRACTOR, HIS SUBCONTRACTOR(S), SUPPLIERS, CONSULTANTS AND SERVANTS.
- G10 FOR ALL ITEMS THAT ARE TO BE REUSED AND/OR REINSTALLED AS PART OF THE WORK:
 - ALL ITEMS THAT ARE TO REMAIN ARE TO BE PROTECTED FROM DAMAGE. IF ANY DAMAGE OCCURS THE CONTRACTOR SHALL REPAIR THE ITEM SO IT IS IN A LIKE NEW CONDITION OR REPLACE IT WITH A NEW ITEM THAT FUNCTIONS THE SAME OR BETTER THAN THE ORIGINAL ITEM.
 - ALL ITEMS THAT ARE TO BE TEMPORARILY REMOVED & REINSTALLED ARE TO BE CAREFULLY REMOVED AND MOVED TO A PROTECTED AREA ON SITE OR TO AN OFF SITE FACILITY. THE ITEM IS TO BE CLEANED AND PREPARED FOR RESTORATION. ALL PARTS AND DOCUMENTATION ARE TO BE INSPECTED AND REPAIRED. PROVIDE NEW FASTENERS AND CAREFULLY TRANSPORT THE ITEM BACK TO ITS ORIGINAL LOCATION AND CAREFULLY REINSTALL. IF ANY DAMAGE OCCURS THE CONTRACTOR SHALL REPAIR THE ITEM SO IT IS IN A LIKE NEW CONDITION OR REPLACE IT WITH A NEW ITEM THAT FUNCTIONS THE SAME OR BETTER THAN THE ORIGINAL ITEM.

LIST OF ABBREVIATIONS

A.F.F.	ABOVE FINISH FLOOR
APPROX.	APPROXIMATE
BIT.	BITUMINOUS
BUR	BUILT UP ROOFING
CB	CATCH BASIN
CMU	CONCRETE MASONRY UNIT
CONC.	CONCRETE
CONT.	CONTINUOUS
D.S.	DOWNSPOUT
EQ	EQUAL
EW.	EACH WAY
FD	FLOOR DRAIN
HC	HANDICAP
HT	HEIGHT
I IN	INVERT IN
I OUT	INVERT OUT
ID	INTERIOR DIAMETER
L.C.C.	LEAD COATED COPPER
MAX.	MAXIMUM
MIN.	MINIMUM
M.O.	MASONRY OPENING
N/A	NOT APPLICABLE
N.I.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
OD	OVERHEAD DOOR
O.H.	OPPOSITE HAND
PAV.	PAVERS
P.T.	PRESSURE TREATED
SIM.	SIMILAR TO
S.S.	STAINLESS STEEL
T.	TREAD
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
V.I.F.	VERIFY IN FIELD
VCB	VINYL COVE BASE
W/	WITH
Z.C.C.	ZINC COATED COPPER
Ø	DIAMETER
+/-	PLUS OR MINUS

SYMBOL LEGEND

	SEE DETAIL 88 ON SHEET AX-XX
	BREAK LINE
	DIMENSION LINE
	EXTENT
	DOOR TAG
	WINDOW TAG

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EXTERIOR
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REPAIRS -
PHASE IA
BID NO. 19-58



Drawing Title:

COVER SHEET

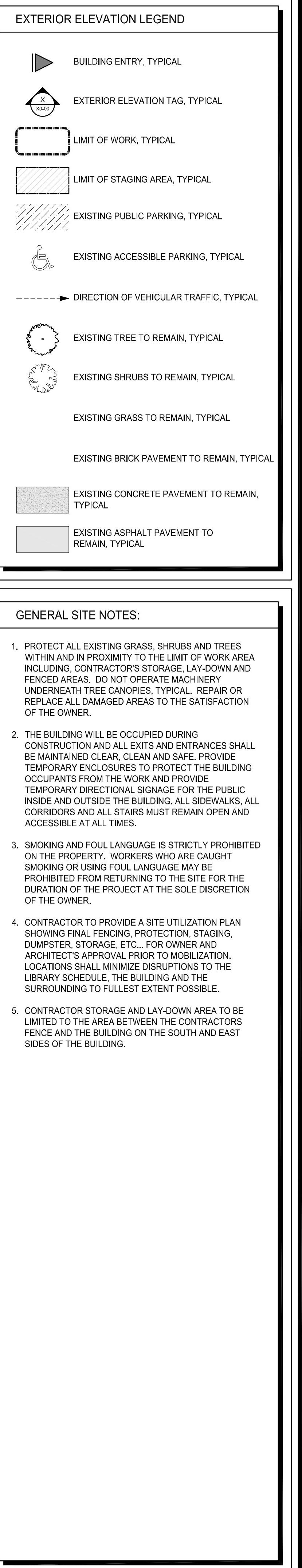
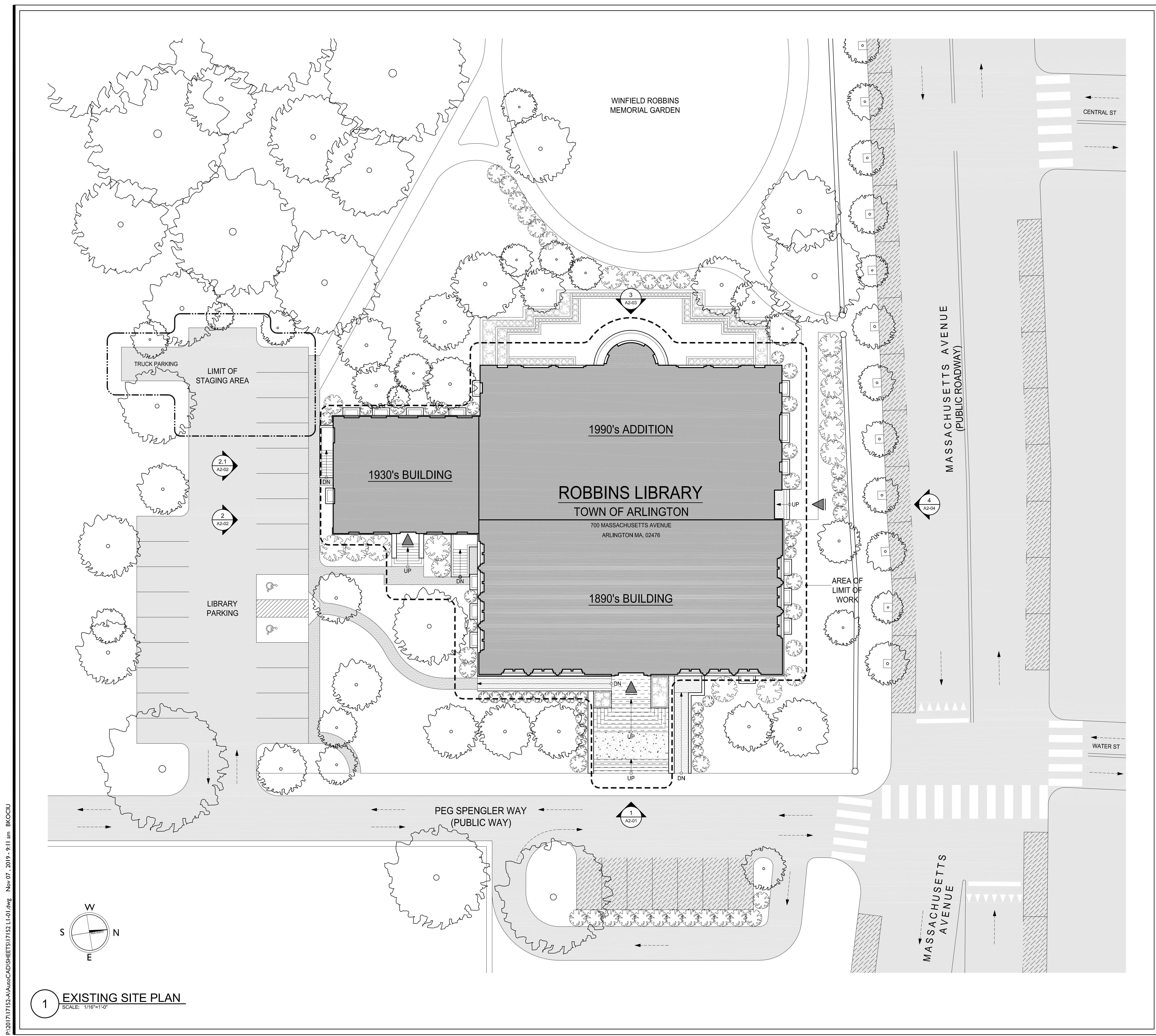
Revisions:

Submission:

BID
DOCUMENTS

Date: 11/07/2019
Project Number: 17152-A
Project Manager: ALS
Drawn By: RF
Scale: AS NOTED

GI-01



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**EXTERIOR
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REPAIRS -
PHASE 1A
BID NO. 19-58**



Drawing Title:
**EXISTING
SITE PLAN**

Revisions:

Submission:

**BID
DOCUMENTS**

Date: 11/07/2019
Project Number: I7152-A
Project Manager: ALS
Drawn By: LY/BDO
Scale: 1/16"=1'-0"

L1-01



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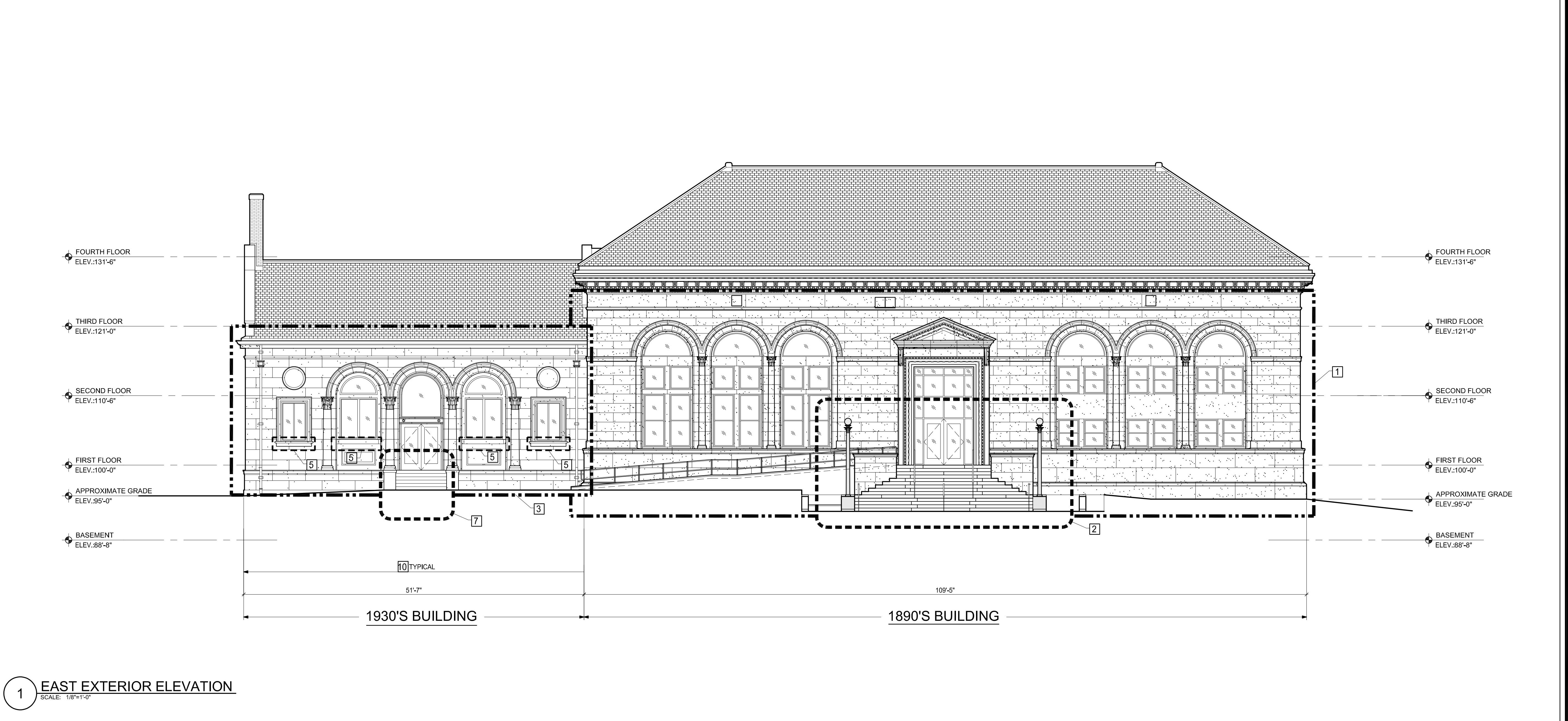
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**EXTERIOR
ENVELOPE
REPAIRS -
PHASE IA
BID NO. 19-58**



Drawing Title:

**EAST
EXTERIOR
ELEVATIONS**



1 EAST EXTERIOR ELEVATION
SCALE: 1/8"=1'-0"

REPAIR AND RESTORATION WORK NOTES:

- 1. ROUTE AND CLEAN EXISTING CRACKS IN ANY SANDSTONE (1890'S BUILDING) DETAIL OR ELEMENT, AND FILL CRACKS WITH INJECTION RESTORATION REPAIR MORTAR. TOTAL QUANTITY OF 50 LINEAL FEET IN SELECT AND RANDOM LOCATIONS ACROSS ALL ELEVATIONS AS SELECTED BY ARCHITECT. REFER TO UNIT PRICES – SPECIFICATION 01 22 00.
- 2. REPLACE EXISTING SEALANT AND MORTAR JOINTS OF THE EXTERIOR GRANITE STONE STAIRS AT MAIN ENTRANCE OF THE 1890'S LIBRARY BUILDING. CUT, REMOVE AND DISPOSE OF 100% ALL EXISTING VERTICAL AND HORIZONTAL JOINT SEALANTS, INCLUDING UNDERLYING MORTAR A MINIMUM OF 1-1/2-INCHES OR UNTIL SOUND MORTAR FROM ALL GRANITE STONE STAIRS. APPLY NEW POINTING MORTAR TO WITHIN 1/2-INCH OF THE SURFACE AND APPLY POLYURETHANE SEALANT TO ALL GRANITE STONE JOINTS. STAIRS SHALL BE POWER WASHED CLEANED. SEE ENLARGE PLAN 1/A401 AND DETAIL 5a & 5b / A4-01.
- 3. ROUTE AND CLEAN EXISTING CRACKS IN ANY ARCHITECTURAL CAST STONE (1930'S BUILDING) DETAIL OR ELEMENT, AND FILL CRACKS WITH INJECTION RESTORATION REPAIR MORTAR. TOTAL QUANTITY OF 25 LINEAL FEET IN SELECT AND RANDOM LOCATIONS ACROSS ALL ELEVATION SELECTED BY THE ARCHITECT. SEE DETAIL 1a & 1b / A4-01. REFER TO UNIT PRICE - SPECIFICATION 01 22 00.
- 4. REMOVE AND DISPOSE OF EXISTING ARCHITECTURAL CAST STONE WINDOW HEAD IN TWO (2) LOCATIONS AS SELECTED BY THE ARCHITECT. TEMPORARILY SHORE AND SUPPORT OPENING, FABRICATE AND INSTALL NEW REINFORCED ARCHITECTURAL PRECAST HEADER TO MATCH SIZE, TEXTURE, AND COLOR. SEE DETAIL 9a / A4-01. REFER TO UNIT PRICE - SPECIFICATION 01 22 00 AND DEDUCT ALTERNATE NO. 3.
- 5. CUT OUT AND DISPOSE SPALLS, CHIPS AND DELAMINATIONS IN THE ARCHITECTURAL CAST STONE WINDOW SILL, CUT OUT A MINIMUM 1/2" DEEP & SQUARE OFF ALL EDGES. CLEAN SURFACE & APPLY SINGLE COMPONENT, CEMENTITIOUS MINERAL BASED REPAIR MORTAR TOTAL QUANTITY OF 208 CUBIC INCHES IN SELECT AND RANDOM LOCATIONS ACROSS ALL ELEVATION SELECTED BY THE ARCHITECT. REFER TO UNIT PRICE - SPECIFICATION 01 22 00.
- 6. RE-SEAL EXISTING ALUMINUM SPANDREL PANELS, AND GLASS PANELS AS IDENTIFIED AT 1900'S BUILDING. SEE DETAIL 8a & 8b / A4-01
 - a. CUT, REMOVE & DISPOSE OF EXISTING RUBBER GASKETS FLUSH WITH PANEL FRAME. SEE DETAIL 8a / A4-01
 - b. APPLY NEW BACKER ROD WHERE GASKETS ARE MISSING BETWEEN THE PANEL AND FRAME.
 - c. CLEAN AND PRIME SURFACES AND APPLY NON-SAG SINGLE COMPONENT SILICONE SEALANT. COLOR TO BE SELECTED BY ARCHITECT FROM FULL RANGE OF CUSTOM COLORS.
 - d. REFER TO DEDUCT ALTERNATE NO. 2.
- 7. CUT OUT AND DISPOSE SPALLS, CHIPS AND DELAMINATIONS IN THE ARCHITECTURAL CAST IN PLACE STONE EXIT STAIRS OF THE 1930'S BUILDING. CUT OUT A MINIMUM 1" DEEP & SQUARE OFF ALL EDGES. CLEAN SURFACE & APPLY SINGLE COMPONENT, CEMENTITIOUS MINERAL BASED REPAIR MORTAR.
- 8. REPLACE EXISTING SEALANT AND MORTAR JOINTS AT THE EXIT STAIRS OF THE 1930'S BUILDING. CUT, REMOVE AND DISPOSE OF 100% ALL EXISTING VERTICAL AND HORIZONTAL JOINT SEALANTS, INCLUDING UNDERLYING MORTAR A MINIMUM OF 1-1/2-INCHES OR UNTIL SOUND MORTAR FROM ALL ARCHITECTURAL CAST IN PLACE STONE STAIRS AND LANDING. APPLY NEW POINTING MORTAR TO WITHIN 1/2-INCH OF THE SURFACE AND APPLY POLYURETHANE SEALANT TO ALL CAST IN PLACE STONE STAIRS AND LANDING JOINTS. STAIRS SHALL BE POWER WASHED CLEANED. SEE DETAIL 3 & 4 / A4-01.

DEDUCT ALTERNATES:

- 1. DEDUCT ALTERNATE NO.1 – ELIMINATE ALL REPAIR WORK ASSOCIATED WITH THE ENTRY/EXIT STAIRS OF THE 1930'S BUILDING, INCLUDING REPLACING EXISTING SEALANT AND MORTAR JOINTS, ALL AS INCLUDED IN NOTES 7 AND 8.
- 2. DEDUCT ALTERNATE NO.2 - ELIMINATE ALL WORK ASSOCIATED TO RESEAL THE EXISTING ALUMINUM SPANDREL PANELS FOR THE 1900'S BUILDING, ALL AS INCLUDED IN NOTE 6.
- 3. DEDUCT ALTERNATE NO.3 – ELIMINATE TWO (2) LOCATIONS OF WORK ASSOCIATED WITH REPLACING ARCHITECTURAL CAST STONE WINDOW HEAD, ALL AS INCLUDED IN NOTE 4.

EXTERIOR ELEVATION LEGEND

#	REPAIR & RESTORATION WORK NOTE
- - -	LOCALIZED WORK
---	LIMIT OF WORK
[Brick Pattern]	SLATE SHINGLES, TYPICAL
[Brick Pattern]	BRICK MASONRY, TYPICAL
[Metal Panel Pattern]	METAL PANEL, TYPICAL
[Window Glazing Pattern]	WINDOW GLAZING, TYPICAL
[Sandstone Pattern]	1890'S SANDSTONE MASONRY, TYPICAL
[Cast Stone Pattern]	1930'S ARCHITECTURAL CAST STONE MASONRY, TYPICAL
[Limestone Type I Pattern]	LIMESTONE PANEL TYPE I, TYPICAL
[Limestone Type II Pattern]	LIMESTONE PANEL TYPE II, TYPICAL

Revisions:

Submission:

**BID
DOCUMENTS**

Date: 11/07/2019
Project Number: 17152-A
Project Manager: ALS
Drawn By: LY/BDO
Scale: 1/8"=1'-0"



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**EXTERIOR
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BID NO. 19-58**

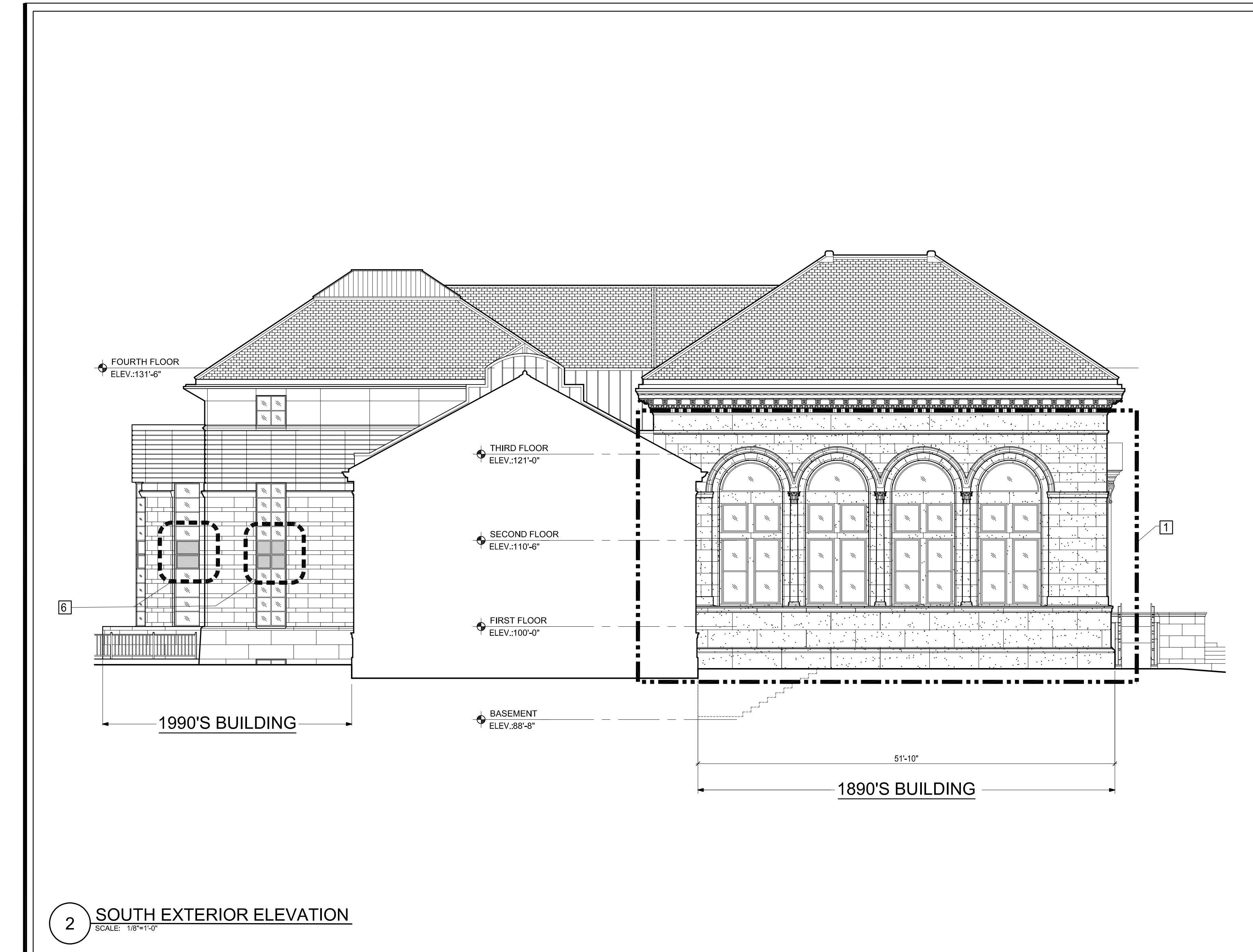


Drawing Title:
**SOUTH
EXTERIOR
ELEVATIONS**

Revisions:

BID
DOCUMENTS

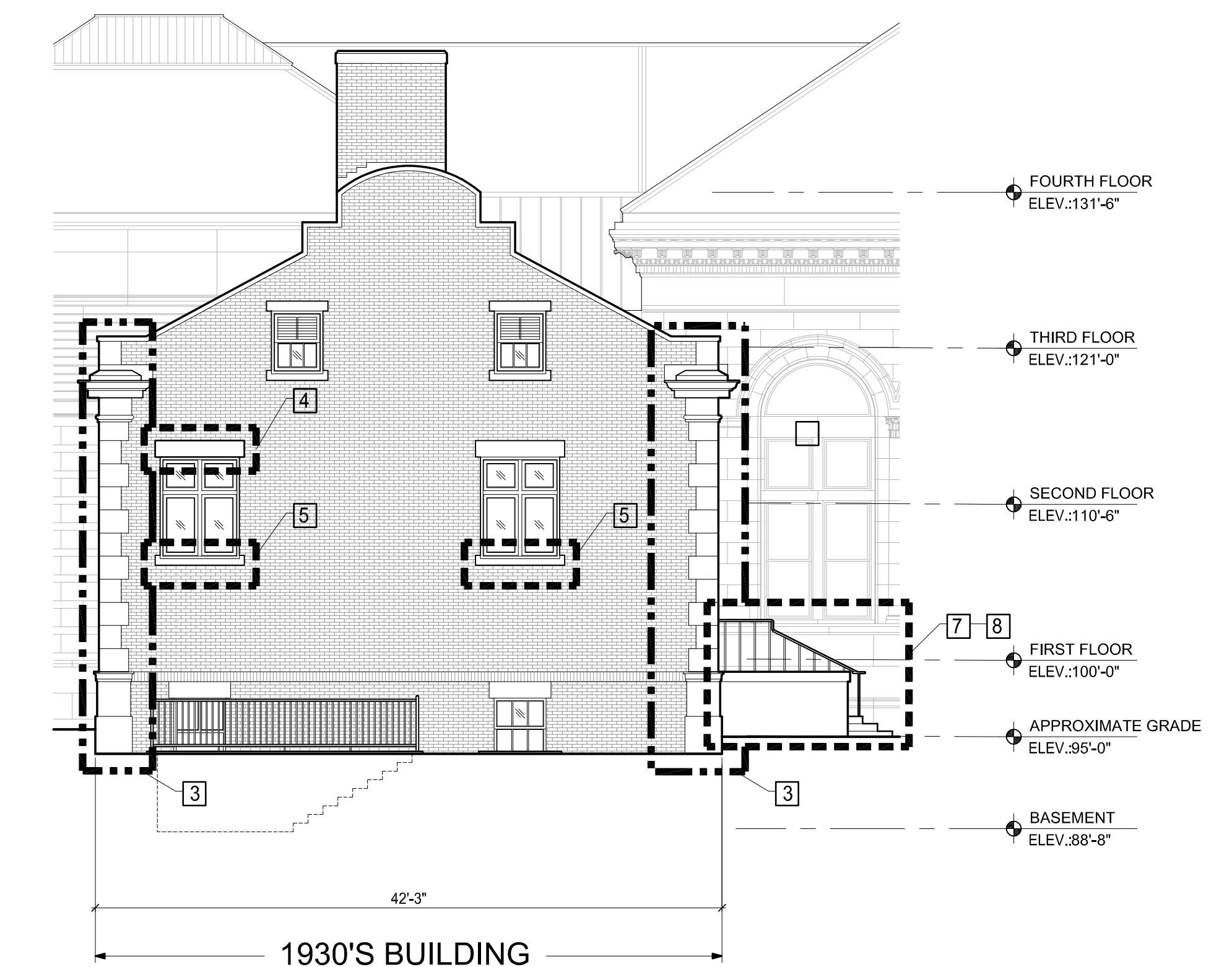
Date: 11/07/2019
Project Number: 17152-A
Project Manager: ALS
Drawn By: LYBDO
Scale: 1/8"=1'-0"



2 SOUTH EXTERIOR ELEVATION

REPAIR AND RESTORATION WORK NOTES:

1. ROUTE AND CLEAN EXISTING CRACKS IN ANY SANDSTONE (1890'S BUILDING) DETAIL OR ELEMENT, AND FILL CRACKS WITH INJECTION RESTORATION REPAIR MORTAR. TOTAL QUANTITY OF 50 LINEAL FEET IN SELECT AND RANDOM LOCATIONS ACROSS ALL ELEVATIONS AS SELECTED BY ARCHITECT. REFER TO UNIT PRICES - SPECIFICATION 01 22 00.
2. REPLACE EXISTING SEALANT AND MORTAR JOINTS OF THE EXTERIOR GRANITE STONE STAIRS AT MAIN ENTRANCE OF THE 1890'S LIBRARY BUILDING. CUT, REMOVE AND DISPOSE OF 100% ALL EXISTING VERTICAL AND HORIZONTAL JOINT SEALANTS, INCLUDING UNDERLYING MORTAR A MINIMUM OF 1-1/2-INCHES OR UNTIL SOUND MORTAR FROM ALL GRANITE STONE STAIRS. APPLY NEW POINTING MORTAR TO WITHIN 1/2-INCH OF THE SURFACE AND APPLY POLYURETHANE SEALANT TO ALL GRANITE STONE JOINTS. STAIRS SHALL BE POWER WASHED CLEANED. SEE ENLARGE PLAN 1/A401 AND DETAIL 5a & 5b / A4-01.
3. ROUTE AND CLEAN EXISTING CRACKS IN ANY ARCHITECTURAL CAST STONE (1930'S BUILDING) DETAIL OR ELEMENT, AND FILL CRACKS WITH INJECTION RESTORATION REPAIR MORTAR. TOTAL QUANTITY OF 25 LINEAL FEET IN SELECT AND RANDOM LOCATIONS ACROSS ALL ELEVATION SELECTED BY THE ARCHITECT. SEE DETAIL 1a & 1b / A4-01. REFER TO UNIT PRICE - SPECIFICATION 01 22 00.
4. REMOVE AND DISPOSE OF EXISTING ARCHITECTURAL CAST STONE WINDOW HEAD IN TWO (2) LOCATIONS AS SELECTED BY THE ARCHITECT. TEMPORARILY SHORE AND SUPPORT OPENING, FABRICATE AND INSTALL NEW REINFORCED ARCHITECTURAL PRECAST HEADERS TO MATCH SIZE, TEXTURE, AND COLOR. SEE DETAIL 9A / A4-01. REFER TO UNIT PRICE - SPECIFICATION 01 22 00 AND DEDUCT ALTERNATE NO. 3.
5. CUT OUT AND DISPOSE SPALLS, CHIPS AND DELAMINATION IN THE ARCHITECTURAL CAST STONE WINDOW SILL. CUT OUT A MINIMUM 1/2" DEEP & SQUARE OFF ALL EDGES. CLEAN SURFACE & APPLY SINGLE COMPONENT, CEMENTITIOUS MINERAL BASED REPAIR MORTAR TOTAL QUANTITY OF 208 CUBIC INCHES IN SELECT AND RANDOM LOCATIONS ACROSS ALL ELEVATION SELECTED BY THE ARCHITECT. REFER TO UNIT PRICE - SPECIFICATION 01 22 00.
6. RE-SEAL EXISTING ALUMINUM SPANDREL PANELS, AND GLASS PANELS AS IDENTIFIED AT 1980'S BUILDING. SEE DETAIL 8a & 8b / A4-01
 - a. CUT, REMOVE & DISPOSE OF EXISTING RUBBER GASKETS FLUSH WITH PANEL FRAME, SEE DETAIL 8a / A4-01.
 - b. APPLY NEW BACKER ROD WHERE GASKETS ARE MISSING BETWEEN THE PANEL AND FRAME.
 - c. CLEAN AND PRIME SURFACES AND APPLY NON-SAG SINGLE COMPONENT SILICONE SEALANT. COLOR TO BE SELECTED BY ARCHITECT FROM FULL RANGE OF CUSTOM COLORS.
 - d. REFER TO DEDUCT ALTERNATE NO. 2.



2.1 PARTIAL SOUTH EXTERIOR ELEVATION

EXTERIOR ELEVATION LEGEND

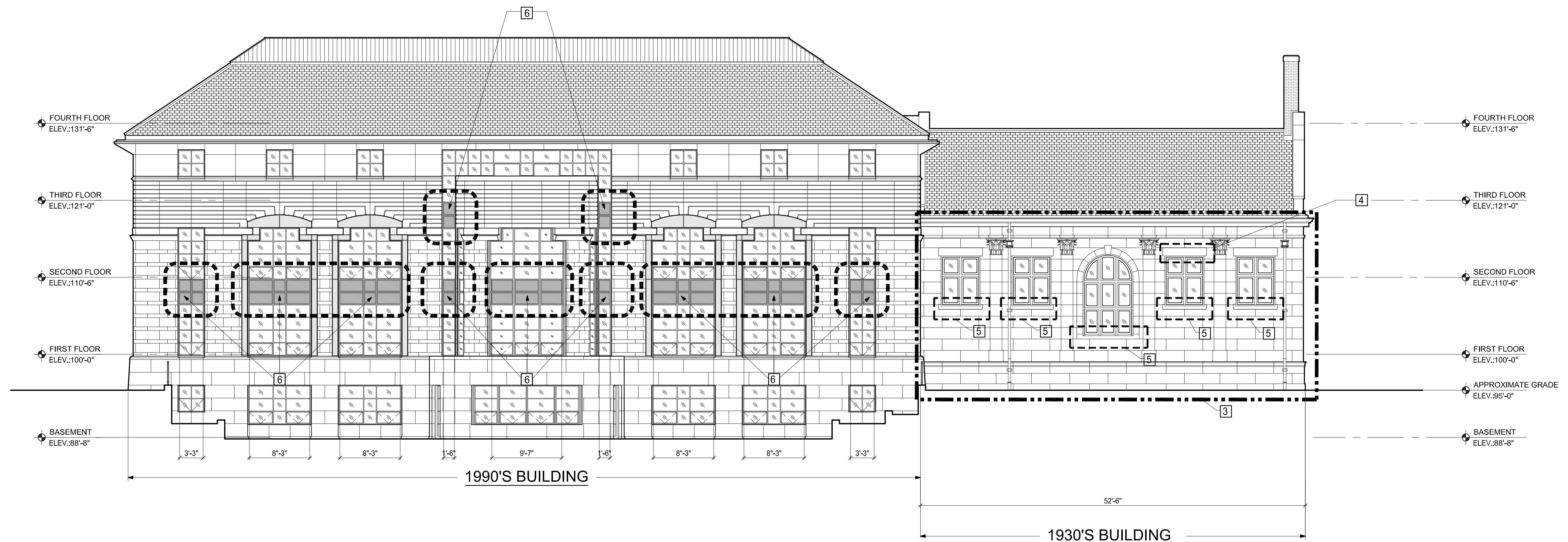
#	REPAIR & RESTORATION WORK NOTE
- - -	LOCALIZED WORK
---	LIMIT OF WORK
[Brick Pattern]	SLATE SHINGLES, TYPICAL
[Brick Pattern]	BRICK MASONRY, TYPICAL
[Metal Panel]	METAL PANEL, TYPICAL
[Window Glazing]	WINDOW GLAZING, TYPICAL
[Architectural Cast Stone]	1890'S SANDSTONE MASONRY, TYPICAL
[Architectural Cast Stone]	1930'S ARCHITECTURAL CAST STONE MASONRY, TYPICAL
[Limestone Panel Type I]	LIMESTONE PANEL TYPE I, TYPICAL
[Limestone Panel Type II]	LIMESTONE PANEL TYPE II, TYPICAL

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EXTERIOR
ENVELOPE
REPAIRS -
PHASE 1A
BID NO. 19-58



Drawing Title:
WEST
EXTERIOR
ELEVATION
ELEVATIONS



3 WEST EXTERIOR ELEVATION
SCALE: 1/8"=1'-0"

REPAIR AND RESTORATION WORK NOTES:

1. ROUTE AND CLEAN EXISTING CRACKS IN ANY SANDSTONE (1890'S BUILDING) DETAIL OR ELEMENT, AND FILL CRACKS WITH INJECTION RESTORATION REPAIR MORTAR. TOTAL QUANTITY OF 50 LINEAL FEET IN SELECT AND RANDOM LOCATIONS ACROSS ALL ELEVATIONS AS SELECTED BY ARCHITECT. REFER TO UNIT PRICES - SPECIFICATION 01 22 00.
 2. REPLACE EXISTING SEALANT AND MORTAR JOINTS OF THE EXTERIOR GRANITE STONE STAIRS AT MAIN ENTRANCE OF THE 1890'S LIBRARY BUILDING. CUT, REMOVE AND DISPOSE OF 100% ALL EXISTING VERTICAL AND HORIZONTAL JOINT SEALANTS, INCLUDING UNDERLYING MORTAR A MINIMUM OF 1-1/2-INCHES OR UNTIL SOUND MORTAR FROM ALL GRANITE STONE STAIRS. APPLY NEW POINTING MORTAR TO WITHIN 1/2-INCH OF THE SURFACE AND APPLY POLYURETHANE SEALANT TO ALL GRANITE STONE JOINTS. STAIRS SHALL BE POWER WASHED CLEANED. SEE ENLARGE PLAN 1/ A401 AND DETAIL 5a & 5b / A4-01.
 3. ROUTE AND CLEAN EXISTING CRACKS IN ANY ARCHITECTURAL CAST STONE (1930'S BUILDING) DETAIL OR ELEMENT, AND FILL CRACKS WITH INJECTION RESTORATION REPAIR MORTAR. TOTAL QUANTITY OF 25 LINEAL FEET IN SELECT AND RANDOM LOCATIONS ACROSS ALL ELEVATION SELECTED BY THE ARCHITECT. SEE DETAIL 1a & 1b / A4-01. REFER TO UNIT PRICE - SPECIFICATION 01 22 00.
 4. REMOVE AND DISPOSE OF EXISTING ARCHITECTURAL CAST STONE WINDOW HEAD IN TWO (2) LOCATIONS AS SELECTED BY THE ARCHITECT. TEMPORARILY SHORE AND SUPPORT OPENING, FABRICATE AND INSTALL NEW REINFORCED ARCHITECTURAL PRECAST HEADER TO MATCH SIZE, TEXTURE, AND COLOR. SEE DETAIL 9a / A4-01. REFER TO UNIT PRICE - SPECIFICATION 01 22 00 AND DEDUCT ALTERNATE NO. 3.
 5. CUT OUT AND DISPOSE SPALLS, CHIPS AND DELAMINATIONS IN THE ARCHITECTURAL CAST STONE WINDOW SILL. CUT OUT A MINIMUM 1/2" DEEP & SQUARE OFF ALL EDGES. CLEAN SURFACE & APPLY SINGLE COMPONENT, CEMENTITIOUS MINERAL BASED REPAIR MORTAR TOTAL QUANTITY OF 208 CUBIC INCHES IN SELECT AND RANDOM LOCATIONS ACROSS ALL ELEVATION SELECTED BY THE ARCHITECT. REFER TO UNIT PRICE - SPECIFICATION 01 22 00.
 6. RE-SEAL EXISTING ALUMINUM SPANDREL PANELS, AND GLASS PANELS AS IDENTIFIED AT 1990'S BUILDING. SEE DETAIL 8a & 8b / A4-01
 - a. CUT, REMOVE & DISPOSE OF EXISTING RUBBER GASKETS FLUSH WITH PANEL FRAME. SEE DETAIL 8a / A4-01
 - b. APPLY NEW BACKER ROD WHERE GASKETS ARE MISSING BETWEEN THE PANEL AND FRAME.
 - c. CLEAN AND PRIME SURFACES AND APPLY NON-SAG SINGLE COMPONENT SILICONE SEALANT. COLOR TO BE SELECTED BY ARCHITECT FROM FULL RANGE OF CUSTOM COLORS.
 - d. REFER TO DEDUCT ALTERNATE NO. 2.
 7. CUT OUT AND DISPOSE SPALLS, CHIPS AND DELAMINATIONS IN THE ARCHITECTURAL CAST IN PLACE STONE EXIT STAIRS OF THE 1930'S BUILDING. CUT OUT A MINIMUM 1" DEEP & SQUARE OFF ALL EDGES. CLEAN SURFACE & APPLY SINGLE COMPONENT, CEMENTITIOUS MINERAL BASED REPAIR MORTAR.
 8. REPLACE EXISTING SEALANT AND MORTAR JOINTS AT THE EXIT STAIRS OF THE 1930'S BUILDING. CUT, REMOVE AND DISPOSE OF 100% ALL EXISTING VERTICAL AND HORIZONTAL JOINT SEALANTS, INCLUDING UNDERLYING MORTAR A MINIMUM OF 1-1/2-INCHES OR UNTIL SOUND MORTAR FROM ALL ARCHITECTURAL CAST IN PLACE STONE STAIRS AND LANDING. APPLY NEW POINTING MORTAR TO WITHIN 1/2-INCH OF THE SURFACE AND APPLY POLYURETHANE SEALANT TO ALL CAST IN PLACE STONE STAIRS AND LANDING JOINTS. STAIRS SHALL BE POWER WASHED CLEANED. SEE DETAIL 3 & 4 / A4-01.
- DEDUCT ALTERNATES:
1. DEDUCT ALTERNATE NO.1 - ELIMINATE ALL REPAIR WORK ASSOCIATED WITH THE ENTRY/EXIT STAIRS OF THE 1930'S BUILDING, INCLUDING REPLACING EXISTING SEALANT AND MORTAR JOINTS. ALL AS INCLUDED IN NOTES 7 AND 8.
 2. DEDUCT ALTERNATE NO.2 - ELIMINATE ALL WORK ASSOCIATED TO RESEAL THE EXISTING ALUMINUM SPANDREL PANELS FOR THE 1990'S BUILDING, ALL AS INCLUDED IN NOTE 6.
 3. DEDUCT ALTERNATE NO.3 - ELIMINATE TWO (2) LOCATIONS OF WORK ASSOCIATED WITH REPLACING ARCHITECTURAL CAST STONE WINDOW HEAD, ALL AS INCLUDED IN NOTE 4.

EXTERIOR ELEVATION LEGEND

#	REPAIR & RESTORATION WORK NOTE
- - -	LOCALIZED WORK
---	LIMIT OF WORK
[hatched pattern]	SLATE SHINGLES, TYPICAL
[hatched pattern]	BRICK MASONRY, TYPICAL
[solid gray]	METAL PANEL, TYPICAL
[diagonal lines]	WINDOW GLAZING, TYPICAL
[horizontal lines]	1890'S SANDSTONE MASONRY, TYPICAL
[vertical lines]	1930'S ARCHITECTURAL CAST STONE MASONRY, TYPICAL
[horizontal lines]	LIMESTONE PANEL TYPE I, TYPICAL
[vertical lines]	LIMESTONE PANEL TYPE II, TYPICAL

Revisions:

Submission:

BID
DOCUMENTS

Date: 11/07/2019
Project Number: 17152-A
Project Manager: ALS
Drawn By: LYBDO
Scale: 1/8"=1'-0"

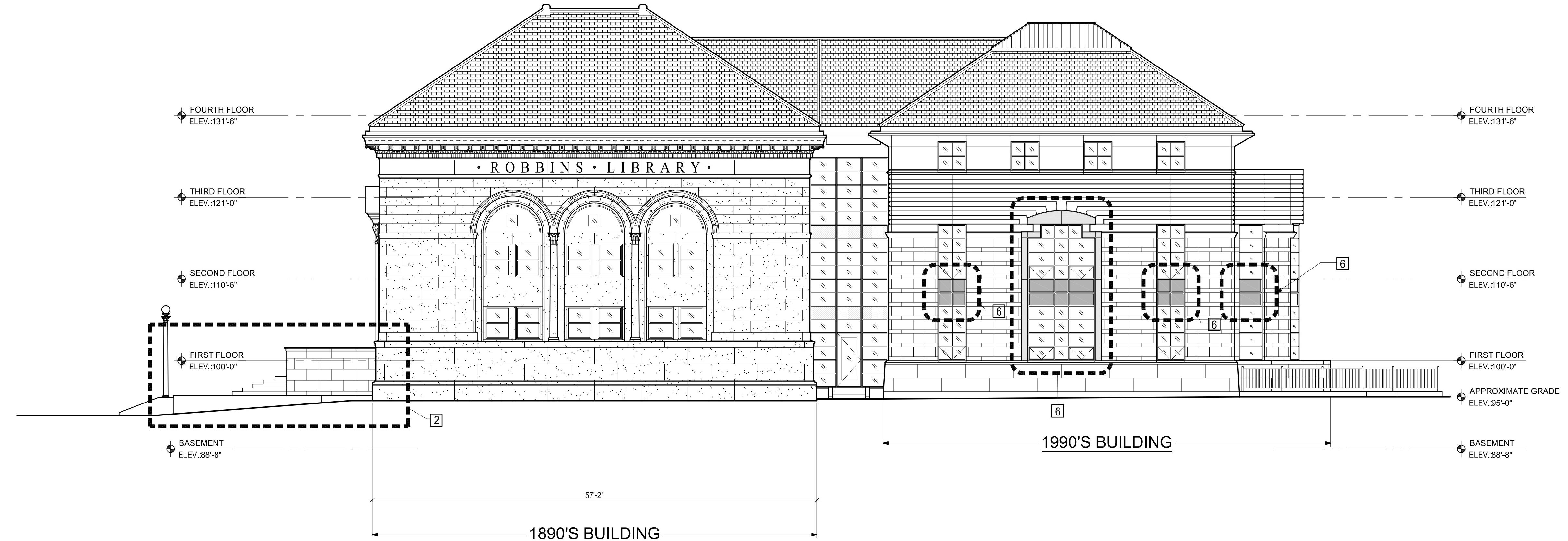
A2-03

ROBBINS LIBRARY
TOWN OF
ARLINGTON
700 MASSACHUSETTS AVENUE
ARLINGTON MA, 02476

**EXTERIOR
ENVELOPE
REPAIRS -
PHASE 1A
BID NO. 19-58**



Drawing Title:
**NORTH
EXTERIOR
ELEVATION**



4 NORTH EXTERIOR ELEVATION
SCALE: 1/8=1'-0"

REPAIR AND RESTORATION WORK NOTES:

1. ROUTE AND CLEAN EXISTING CRACKS IN ANY SANDSTONE (1890'S BUILDING) DETAIL OR ELEMENT, AND FILL CRACKS WITH INJECTION RESTORATION REPAIR MORTAR. TOTAL QUANTITY OF 50 LINEAL FEET IN SELECT AND RANDOM LOCATIONS ACROSS ALL ELEVATIONS AS SELECTED BY ARCHITECT. REFER TO UNIT PRICES - SPECIFICATION 01 22 00.
2. REPLACE EXISTING SEALANT AND MORTAR JOINTS OF THE EXTERIOR GRANITE STONE STAIRS AT MAIN ENTRANCE OF THE 1890'S LIBRARY BUILDING. CUT, REMOVE AND DISPOSE OF 100% ALL EXISTING VERTICAL AND HORIZONTAL JOINT SEALANTS, INCLUDING UNDERLYING MORTAR A MINIMUM OF 1-1/2-INCHES OR UNTIL SOUND MORTAR FROM ALL GRANITE STONE STAIRS. APPLY NEW POINTING MORTAR TO WITHIN 1/2-INCH OF THE SURFACE AND APPLY POLYURETHANE SEALANT TO ALL GRANITE STONE JOINTS. STAIRS SHALL BE POWER WASHED CLEANED. SEE ENLARGE PLAN 1/A401 AND DETAIL 5a & 5b / A4-01.
3. ROUTE AND CLEAN EXISTING CRACKS IN ANY ARCHITECTURAL CAST STONE (1930'S BUILDING) DETAIL OR ELEMENT, AND FILL CRACKS WITH INJECTION RESTORATION REPAIR MORTAR. TOTAL QUANTITY OF 25 LINEAL FEET IN SELECT AND RANDOM LOCATIONS ACROSS ALL ELEVATION SELECTED BY THE ARCHITECT. SEE DETAIL 1a & 1b / A4-01. REFER TO UNIT PRICE - SPECIFICATION 01 22 00.
4. REMOVE AND DISPOSE OF EXISTING ARCHITECTURAL CAST STONE WINDOW HEAD IN TWO (2) LOCATIONS AS SELECTED BY THE ARCHITECT. TEMPORARILY SHORE AND SUPPORT OPENING, FABRICATE AND INSTALL NEW REINFORCED ARCHITECTURAL PRECAST HEADER TO MATCH SIZE, TEXTURE, AND COLOR. SEE DETAIL 9A / A4-01. REFER TO UNIT PRICE - SPECIFICATION 01 22 00 AND DEDUCT ALTERNATE NO. 3
5. CUT OUT AND DISPOSE SPALLS, CHIPS AND DELAMINATIONS IN THE ARCHITECTURAL CAST STONE WINDOW SIL. CUT OUT A MINIMUM 1/2" DEEP & SQUARE OFF ALL EDGES. CLEAN SURFACE & APPLY SINGLE COMPONENT, CEMENTITIOUS MINERAL BASED REPAIR MORTAR TOTAL QUANTITY OF 208 CUBIC INCHES IN SELECT AND RANDOM LOCATIONS ACROSS ALL ELEVATION SELECTED BY THE ARCHITECT. REFER TO UNIT PRICE - SPECIFICATION 01 22 00.
6. RE-SEAL EXISTING ALUMINUM SPANDREL PANELS, AND GLASS PANELS AS IDENTIFIED AT 1990'S BUILDING. SEE DETAIL 8a & 8b / A4-01
 - a. CUT, REMOVE & DISPOSE OF EXISTING RUBBER GASKETS FLUSH WITH PANEL FRAME. SEE DETAIL 8a / A4-01
 - b. APPLY NEW BACKER ROD WHERE GASKETS ARE MISSING BETWEEN THE PANEL AND FRAME.
 - c. CLEAN AND PRIME SURFACES AND APPLY NON-SAG SINGLE COMPONENT SILICONE SEALANT. COLOR TO BE SELECTED BY ARCHITECT FROM FULL RANGE OF CUSTOM COLORS.
 - d. REFER TO DEDUCT ALTERNATE NO. 2.

EXTERIOR ELEVATION LEGEND

#	REPAIR & RESTORATION WORK NOTE
- - -	LOCALIZED WORK
---	LIMIT OF WORK
[SLATE SHINGLES]	SLATE SHINGLES, TYPICAL
[BRICK MASONRY]	BRICK MASONRY, TYPICAL
[METAL PANEL]	METAL PANEL, TYPICAL
[WINDOW GLAZING]	WINDOW GLAZING, TYPICAL
[1890's SANDSTONE MASONRY]	1890's SANDSTONE MASONRY, TYPICAL
[1930's ARCHITECTURAL CAST STONE MASONRY]	1930's ARCHITECTURAL CAST STONE MASONRY, TYPICAL
[LIMESTONE PANEL TYPE I]	LIMESTONE PANEL TYPE I, TYPICAL
[LIMESTONE PANEL TYPE II]	LIMESTONE PANEL TYPE II, TYPICAL

Revisions:

Submission:

**BID
DOCUMENTS**

Date: 11/07/2019
Project Number: 17152-A
Project Manager: ALS
Drawn By: LY/BDO
Scale: 1/8=1'-0"

A2-04



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EXTERIOR ENVELOPE REPAIRS - PHASE 1A BID NO. 19-58



REPAIR & RESTORATION DETAILS

Drawing Title:

REPAIR & RESTORATION DETAILS

Revisions:

Submission:

BID DOCUMENTS

Date: 11/07/2019
Project Manager: 17152-A
Drawn By: ALS
Scale: AS NOTED

A4-01

